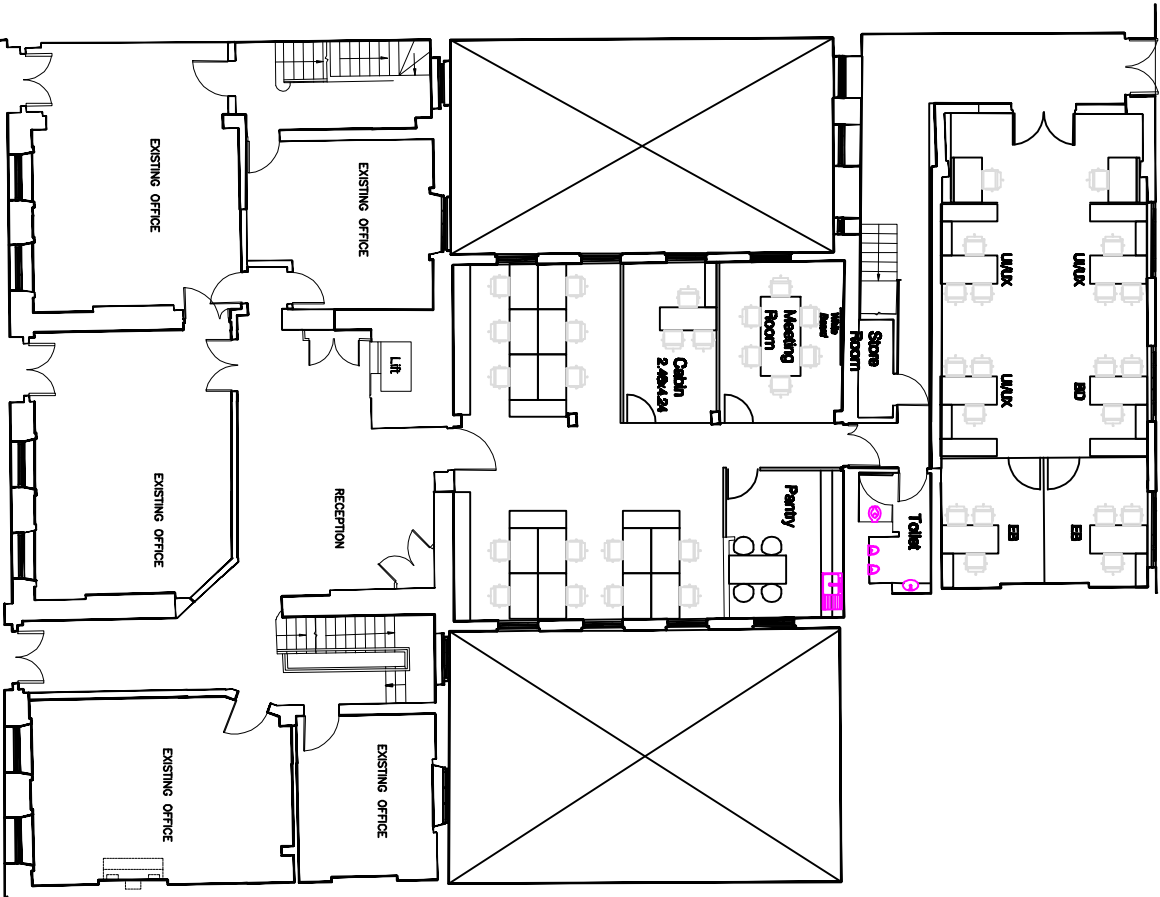
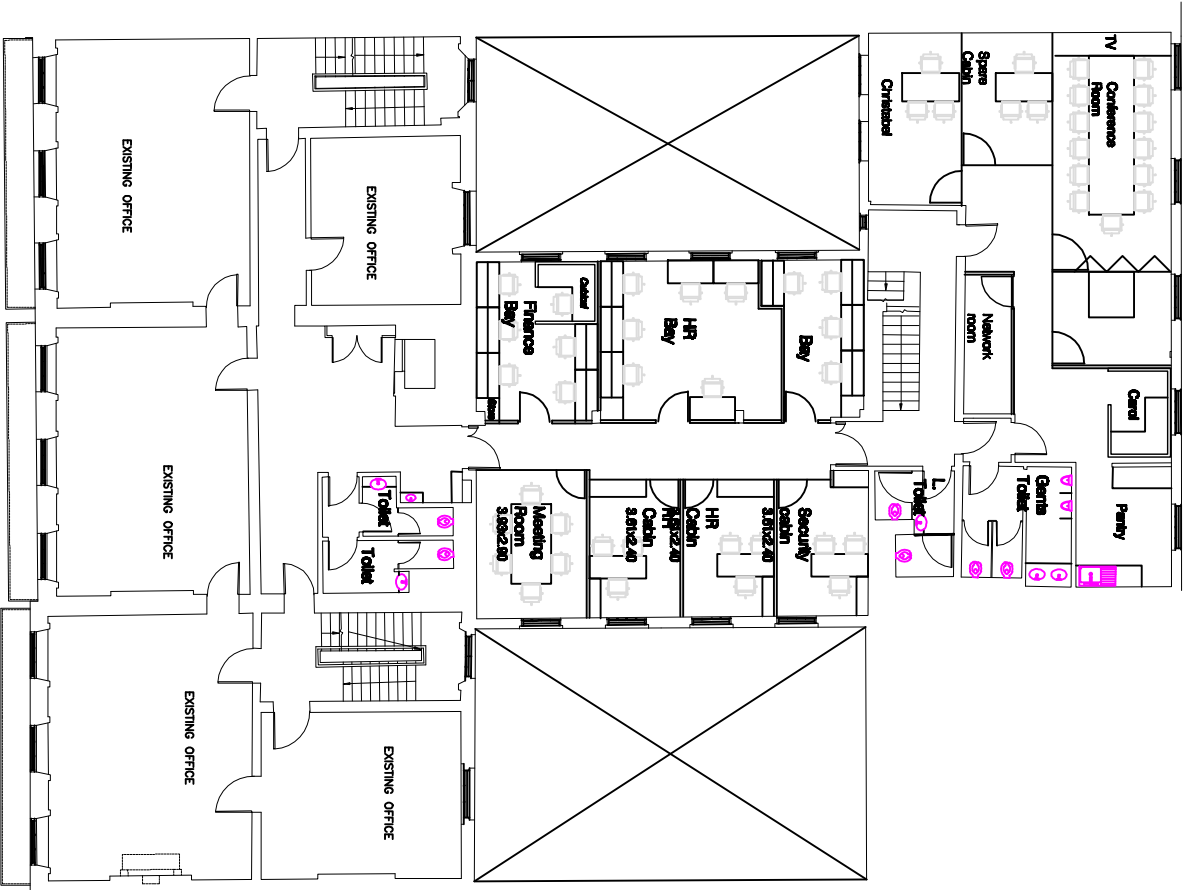




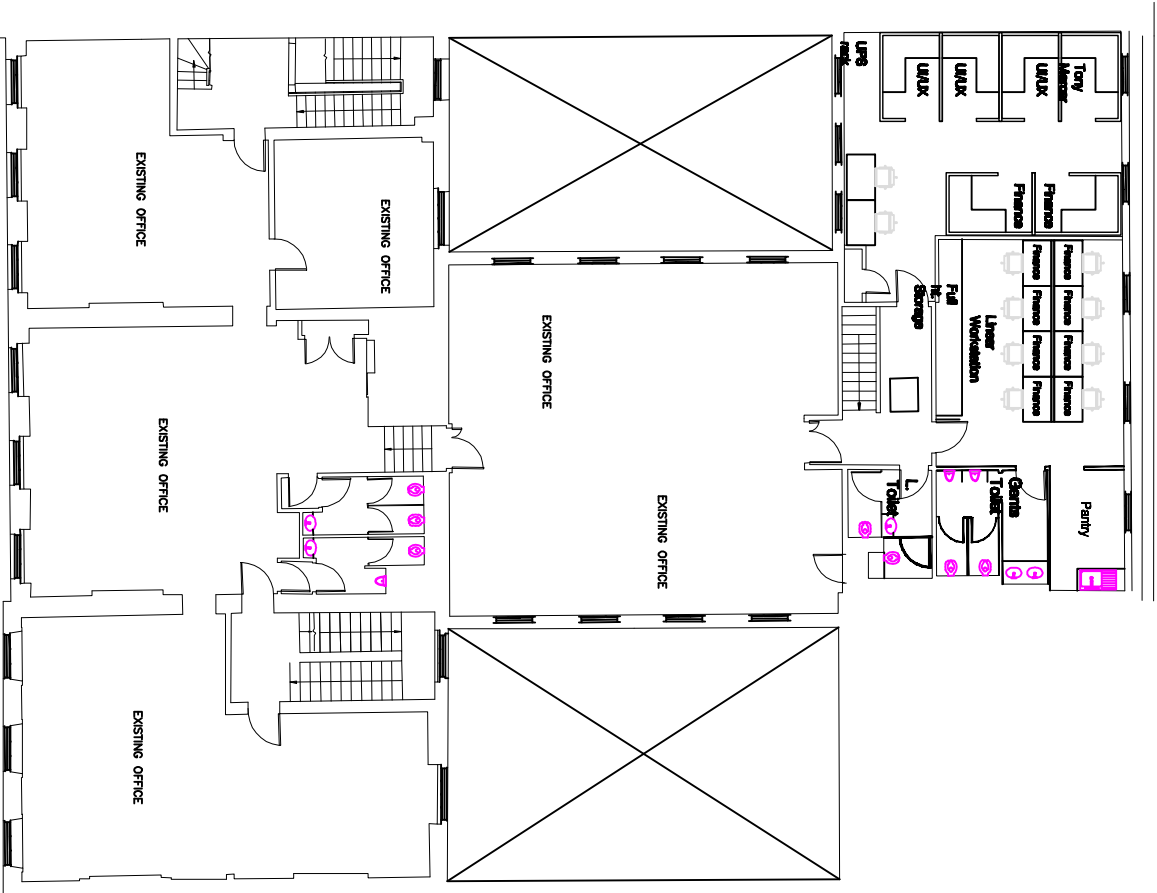
GROUND FLOOR PLAN
EXISTING
(NO CHANGE)



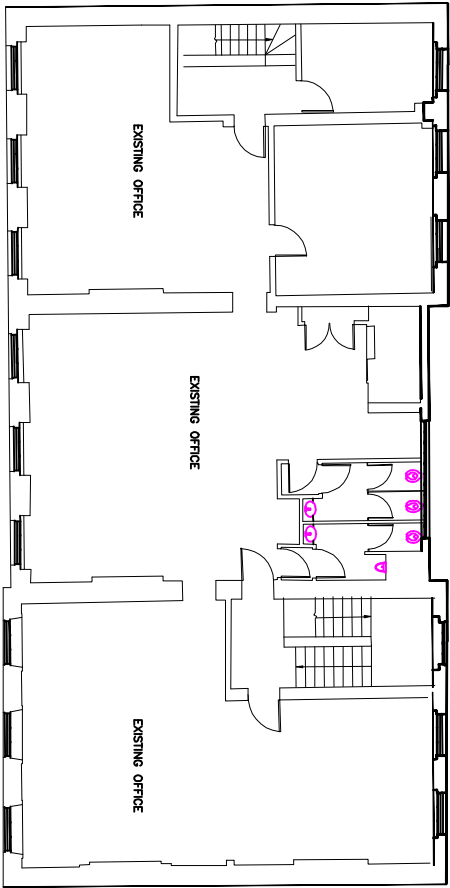
FIRST FLOOR PLAN
EXISTING
(NO CHANGE)

GENERAL NOTES:
1. All dimensions in millimeters (mm).
2. Make-up dimensions to all lengths, widths and heights.
3. Dimensions are to be obtained on site and not based on the plan.
4. Room dimensions may vary to those stated on the plan.
5. Work dimensions may vary to those stated on the plan.
6. Any dimensions to the drawing must be accompanied by the Architect or Building Control.
7. Any Work dimensions are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such work.
8. It is the responsibility of the client to seek for all planning permission and all building regulations to be granted before any work starts.
9. All structural members are indicated without the length of the member. It is the responsibility of the contractor to measure the required length of any structural member on site.

	
PROPOSAL: CONVERSION OF THE EXISTING OFFICE AT THIRD FLOOR LEVEL TO STAFF ACCOMMODATION	
DATE: 10.01.2019	
SCALE: 1:200	
DRAWING NUMBER: GLA-011	
SITE ADDRESS: 21-23 DORSET SQUARE	
DRAWN: J.V	CHECK: R.K
REV:	

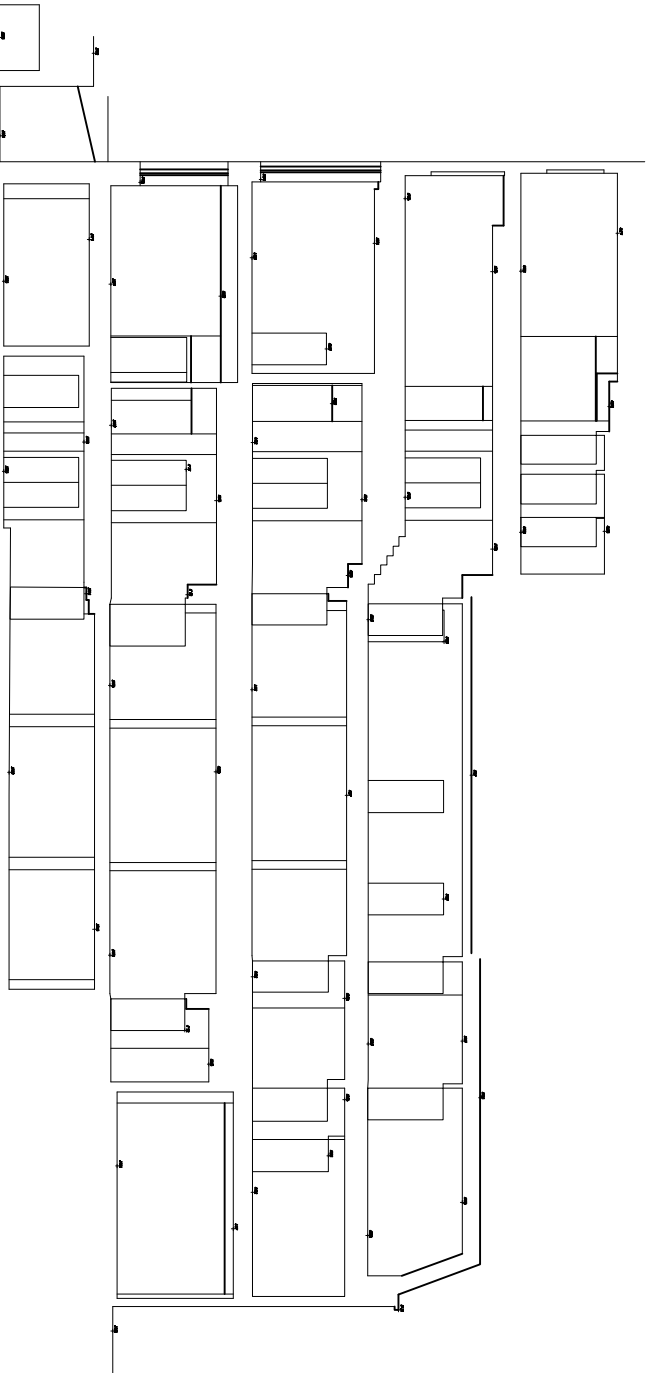
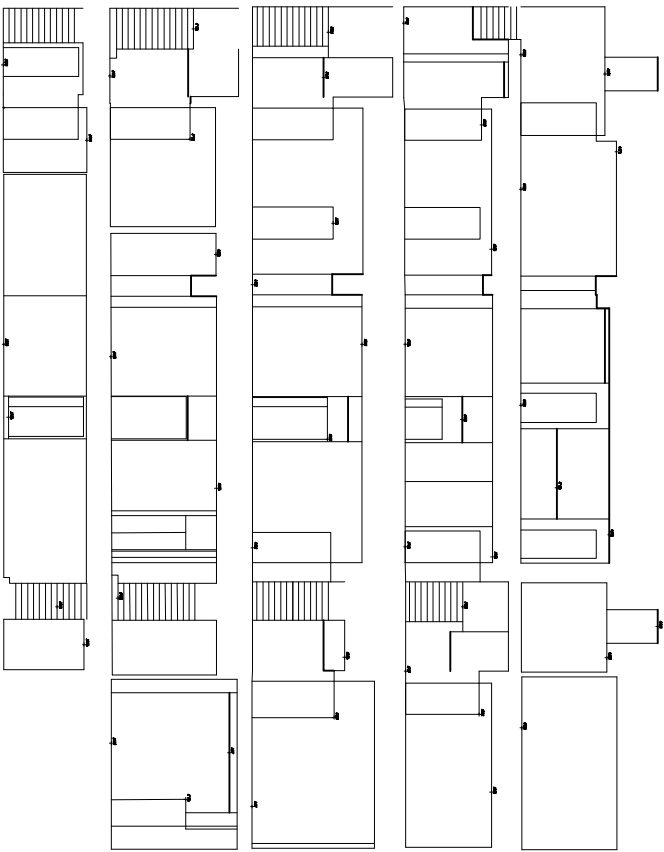


SECOND FLOOR PLAN
EXISTING
(NO CHANGE)



THIRD FLOOR PLAN
EXISTING

GENERAL NOTES 1. All dimensions in millimeters (mm). 2. Make-up dimensions to all lengths, widths and heights. 3. Dimensions are to be obtained on site and not based on the plan. 4. Material room dimensions may vary to those stated on the plan. 5. Work on the existing must be approved by the Architect or Building Control. 6. Any changes to the existing must be approved by the Architect or Building Control. 7. Any Work on the existing must be approved by the Architect or Building Control. 8. It is the responsibility of the client to ensure the Architect is specifically requested under a separate agreement to undertake such work. 9. It is the responsibility of the client to seek for all planning permission and all building regulations to be granted before any work starts. 10. All structural members are indicated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.		 LONDON CONSULTANTS LTD		PROPOSAL: CONVERSION OF THE EXISTING OFFICE AT THIRD FLOOR LEVEL TO STAFF ACCOMMODATION	
SITE ADDRESS: 21-23 DORSET SQUARE		DATE: 10.01.2019		SCALE: 1:200	
		DRAWING NUMBER: GLA-021			
DRAWN: J.V		CHECK: R.K			
REV:					



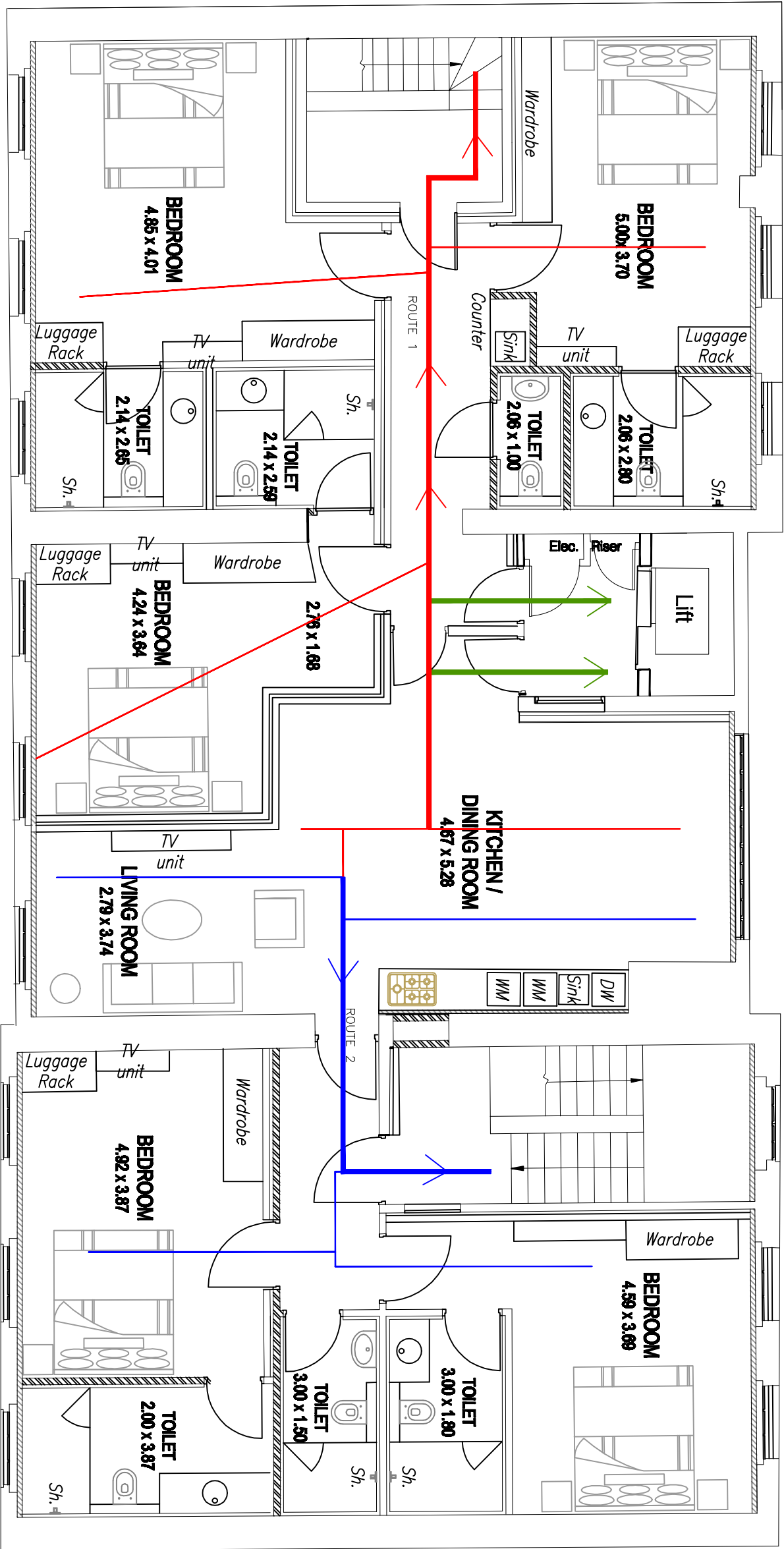
SECTION A

SECTION B

GENERAL NOTES
1. All dimensions in millimetres (mm).
2. Meters opened service doors to all landings, to walls and ceiling work up.
3. Dimensions are to be obtained on site and not based on the plan supplied for contractor only.
4. Finished room dimensions may vary to those stated on the plan.
5. Work although specified may not be part of the agreed scope of work.
6. Any changes to the drawing must be authorised by the Architect or Building Control.
7. Party Wall Agreements are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such matters.
8. It is the responsibility of the client to seek full planning permission and full building regulations to be granted before any work starts.
9. All structural members are calculated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.



PROPOSAL: CONVERSION OF THE EXISTING OFFICE AT THIRD FLOOR LEVEL TO STAFF ACCOMODATION	DATE: 10.01.2019	
	SCALE: 1:200	
	DRAWING NUMBER: GLA-031.	
	DRAWN: J.V	
SITE ADDRESS: 21-23 DORSET SQUARE	CHECK: R.K	
	REV:	



FIRE ESCAPE ROUTE

THIRD FLOOR PLAN

- GENERAL NOTES**
1. All dimensions in millimetres (mm).
 2. Meters opened service doors to all landings, to walls and ceiling work up.
 3. Dimensions are to be obtained on site and not based on the plan supplied for contractor only.
 4. Finished room dimensions may vary to those stated on the plan.
 5. Work although specified may not be part of the agreed scope of work/contract.
 6. Any changes to the drawing must be authorised by the Architect or Building Control.
 7. Any Work/Accessories are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such work.
 8. It is the responsibility of the client to seek full planning permission and full building regulations to be granted before any work starts.
 9. All structural members are calculated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.



PROPOSAL:
CONVERSION OF THE EXISTING
OFFICE AT THIRD FLOOR LEVEL TO
STAFF ACCOMODATION

SITE ADDRESS:
21-23 DORSET SQUARE

DATE: 10.01.2019

SCALE: 1:75

DRAWING NUMBER: GLA-06L

DRAWN: J.V

CHECK: R.K

REV:

THE INSULATED DRY LINING EXTENDS TO ALL PARTY AND EXTERNAL WALLS.
A COMMISSIONING NOTICE FOR THE FIXED BUILDING SERVICES (HEATING AND HOT WATER) WILL BE DEMOSITED WITH THE COUNCIL UPON COMPLETION OF THE WORK.

THE DESIGN DETAILS AND BUILDING TECHNIQUES HAVE BEEN SPECIFIED IN ACCORDANCE WITH THE GUIDANCE GIVEN IN 'LIMITING THERMAL BRIDGING AND AIR LEAKAGE, ROBUST CONSTRUCTION DETILS FOR DWELINGS AND SIMILAR BUILDINGS 2002 ' A REPORT WILL BE PROVIDED TO THE COUNCIL IN RELATION TO THE WORK CARRIED OUT

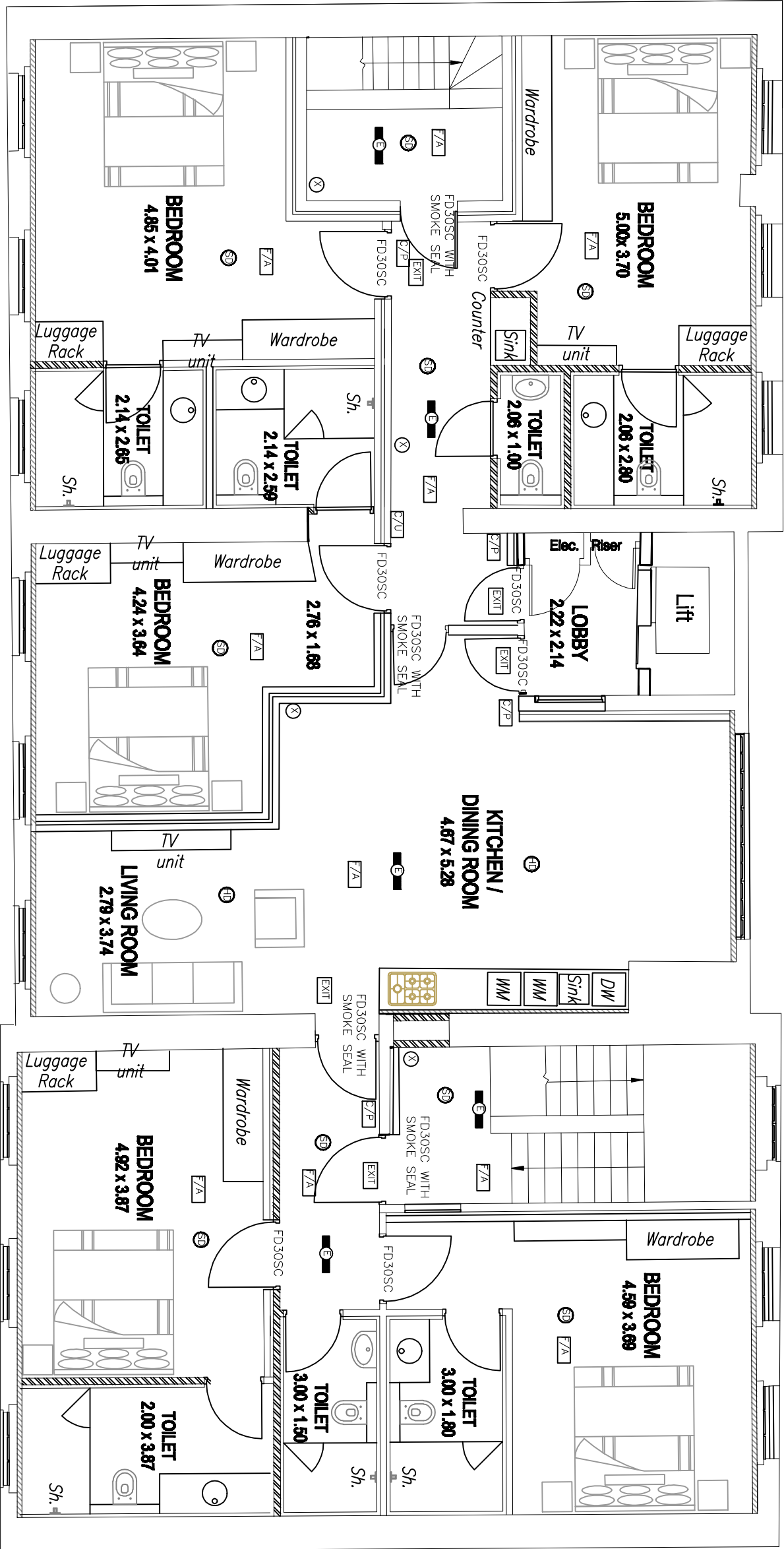
EMERGENCY LIGHTING TO COMMON AREAS, SHOULD BE INSTALLED ACCORDING TO BS 5266:1

SMOKE DETECTOR IN CORRIDOR, ON LANDINGS AND HEAT ALARM IN KITCHEN IN ACCORDANCE WITH THE RECOMMENDATIONS OF BS 5839-6.

ALL THE SMOKE DETECTORS SHOULD BE INTERLINKED AND MAINS OPERATED WITH BATTERY BACKUP. THE SMOKE DETECTORS MUST BE ACCESSIBLE TO ALLOW FOR TESTING AND CLEANING. THE SMOKE ALARM SHOULD BE WITHIN 7.5M OF THE DOOR TO EVERY HABITABLE ROOMS AND ARE CEILING MOUNTED. IT SHOULD BE LOCATED BETWEEN 25-600MM BELOW THE CEILING AND 300MM AWAY FROM ANY LIGHT.

FD30	30 MINS FIRE DOOR
⊗	FIRE EXTINGUISHER
SD	SMOKE ALARM
E	EMERGENCY LIGHTING
EXIT	FIRE EXIT SIGN
E/P	CALL POINT
F/A	FIRE ALARM
HA	HEAT ALARM
E/U	FIRE CONTROL UNIT
SC	SELF CLOSURES

THIRD FLOOR PLAN



ALL FD30SC : FIRE
DOOR ACHIEVING 30
MINUTES FIRE RETARDANT
AND WITH SMOKE SEAL
AND FITTED WITH SELF
CLOSURE

FIRE SAFETY MEASURES

GENERAL NOTES
1. All dimensions in millimetres (mm).
2. Makers operated service doors to all landings, to walls and ceiling work up.
3. Dimensions are to be obtained on site and not stated on the plan.
4. Finished room dimensions may vary to those stated on the plan.
5. Work although specified may not be part of the original structure of the building.
6. Any changes to the design must be authorised by the Architect or Building Control.
7. Any Work / Materials are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such work.
8. It is the responsibility of the client to seek full planning permission and full building regulations to be granted before any work starts.
9. All structural members are calculated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.



PROPOSAL:
CONVERSION OF THE EXISTING
OFFICE AT THIRD FLOOR LEVEL TO
STAFF ACCOMODATION

SITE ADDRESS:
21-23 DORSET SQUARE

DATE: 10.01.2019

SCALE: 1:75

DRAWING NUMBER: 614-051.

DRAWN: J.V

CHECK: R.K

REV:

Foul water drains to proposed stack, 40 mm basin and bath, 100 mm toilet. All necessary traps and rodding are to be angled. All pipes connected to the air admittance valve then to the pump (saniflo) links to the drain outside. Any sinks and wash hand basin, etc. should be provided with antistiphon deep seal traps normally 75mm.

ALL THE NEW DRAINAGE AND SANITARY PIPEWORK, INCLUDING LAYOUT, MATERIALS, BEDDING MUST BE DISCUSSED ON SITE AND APPROVED BY THE BUILDING SURVEYOR PRIOR TO INSTALLATION. AN AIR RUNNING TEST WILL BE REQUIRED ON COMPLETION OF THE WORKS.

BATHROOM TO HAVE MECHANICAL AIR EXTRACTOR OF ATLEAST 30L/SEC. KITCHEN EXTRACTOR OF ATLEAST 60L/SEC. DISCHARGE OF FLE TO OUTSIDE AND SHOULD BE ATLEAST 300MM AWAY FROM ANY WINDOW AND 900MM ABOVE THE HIGHEST WINDOW.

THE DRAIN PIPE WILL BE 100MM IN DIAMETER TO CONNECT TO THE EXISTING MAIN SEWER. AT ANY INTERCONNECTION OF NEW DRAIN PIPES TO EXISTING SEWER, A MH IS REQUIRED. .THE EXISTING DRAIN SHOULD BE TESTED, REPAIRED, REPLACED AS NECESSARY AND PROTECTED.

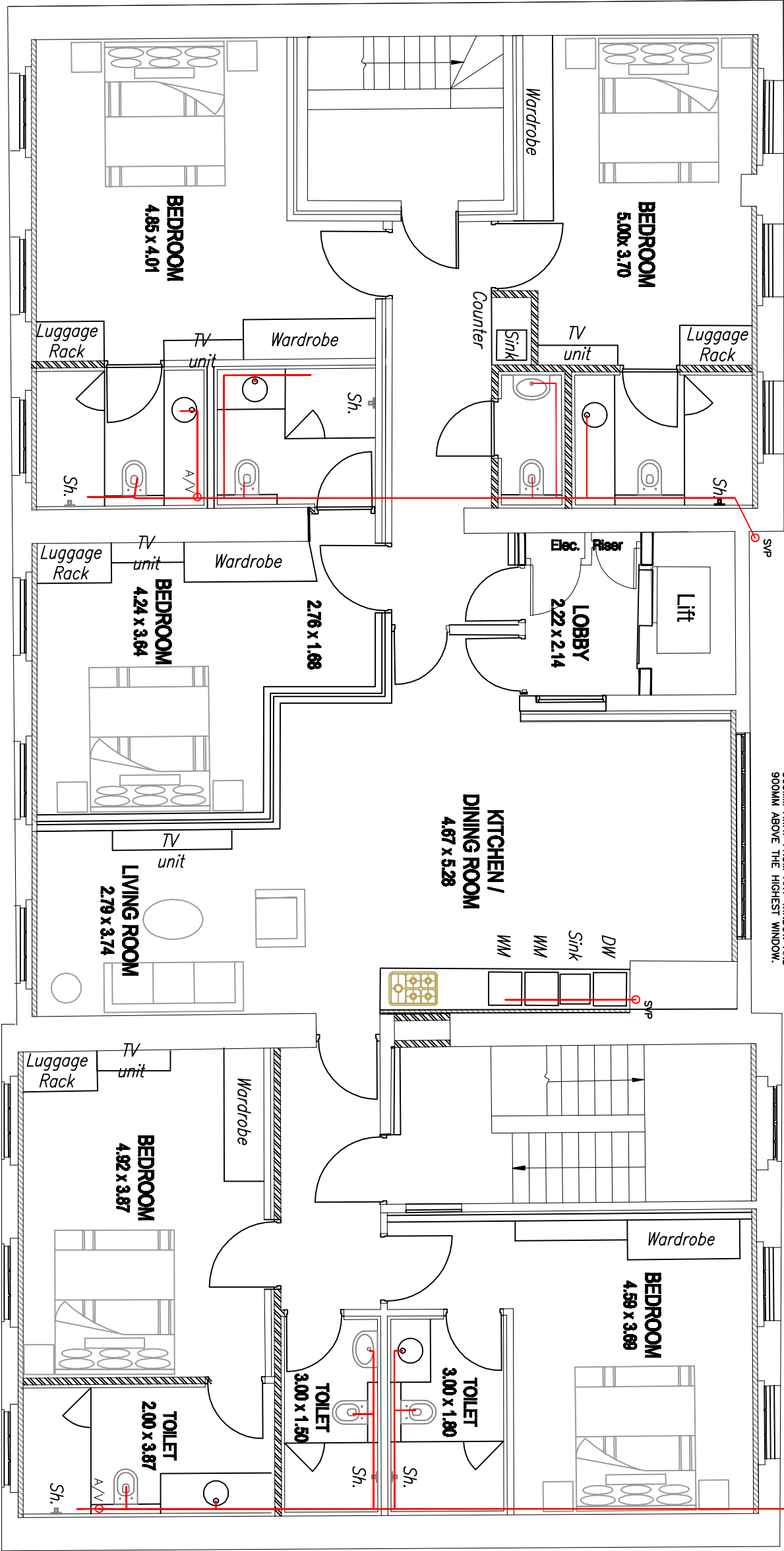
THE RODDING ACCESS TO THE SEWER WILL BE VIA THE MH, VIA AIR ADMITTANCE VALVE AND VIA THE SVP PIPE WHICH IS FITTED WITH ACCESS.

THE SVP SHOULD BE TERNITTED ATLEAST 900MM ABOVE ANY OPENING WINDOW WITHIN 3M .

ALL WASTE PLUMBING WILL BE IN ACCORDANCE TO BS EN 12056

THE BOILER FLE WILL BE CARRIED OUT BY A GAS SAFE REGISTERED PERSON AND INSTALLATION FOR THE FLE WILL BE IN ACCORDANCE WITH THE DIAGRAM 3.4 OF APPROVED DOCUMENT J (2002 EDITION)

A CLEAR LANDING EQUAL TO THE STAIRS IS REQUIRED AT THE TOP OF THE STAIRS



DRAINAGE

THIRD FLOOR PLAN

GENERAL NOTES

1. All dimensions in millimeters (mm).
2. Make-up of the building is to be as shown on the plan.
3. Dimensions are to be obtained on site and not based on the plan.
4. Finished room dimensions may vary to those stated on the plan.
5. Work to be carried out may not be part of the original structure of the building.
6. Any changes to the drawing must be authorized by the Architect or Building Control.
7. Any work to be carried out is to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such work.
8. It is the responsibility of the client to seek for all planning permission and all building regulations to be complied with any work.
9. All structural members are indicated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.

PROPOSAL: CONVERSION OF THE EXISTING OFFICE AT THIRD FLOOR LEVEL TO STAFF ACCOMODATION		DATE: 10.01.2019	
SCALE: 1:75		DRAWING NUMBER: 61A-071	
SITE ADDRESS: 21-23 DORSET SQUARE		DRAWN: J.V	CHECK: R.K
		REV:	

THE LANDING CALL
BUTTONS ARE LOCATED
BETWEEN ROOMS AND
DOWN FROM THE FLOOR
TO THE LANDING AND AT
LEAST 500MM FROM ANY
RETURN WALL.

WALL-MOUNTED SOCKET
OUTLETS, TELEPHONE
POINTS AND TV SOCKETS
ARE LOCATED BETWEEN
450MM AND 1000MM
ABOVE THE FLOOR, WITH
A PREFERENCE FOR THE
LOWER END OF THE
RANGE.

SWITCHES FOR
PERMANENTLY WIRED
APPLIANCES ARE LOCATED
BETWEEN 450MM AND
1200MM ABOVE THE
FLOOR, UNLESS NEEDED
AT A HIGHER LEVEL FOR
PARTICULAR APPLIANCES.

ALL SWITCHES AND
CONTROLS THAT REQUIRE
PRECISE HAND
MOVEMENTS ARE LOCATED
BETWEEN 750MM AND
1200MM ABOVE THE
FLOOR

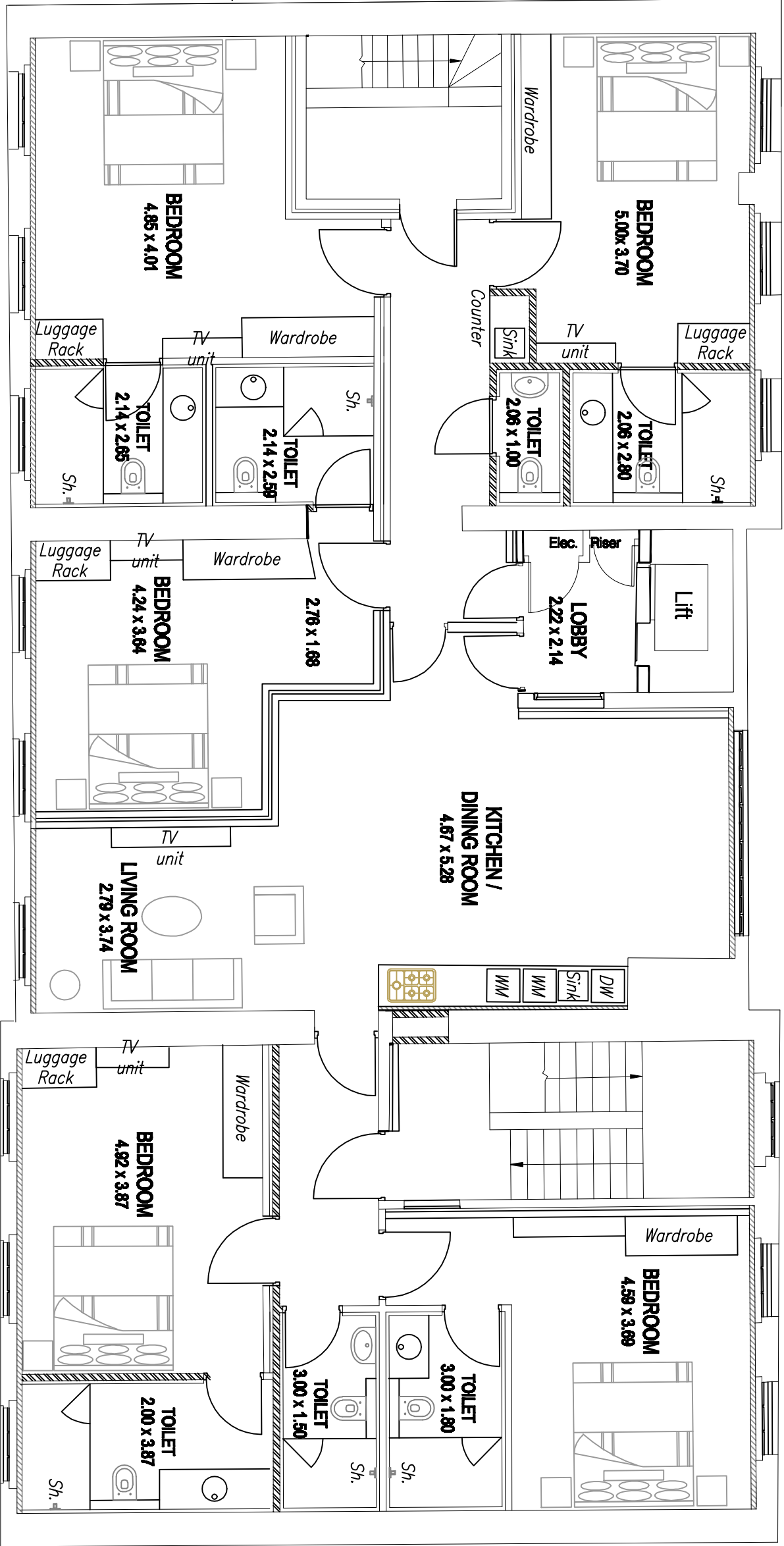
SOCKET OUTLETS ARE
LOCATED CONSISTENTLY IN
RELATION TO DOORWAYS
AND ROOM CORNERS, BUT
IN ANY CASE NO NEARER
THAN 350MM FROM ROOM
CORNERS.

LIGHTING PULL CORDS
ARE SET BETWEEN 900MM
AND 1100MM ABOVE THE
FLOOR LEVEL.

DOUBLE GLAZED AND
LOW-E COATED . HEAD
VENTS TO PROVIDE 8000MM2.
TOUGHENED GLASS TO
DOOR TYPE OF WINDOW
FRAME AND MATERIALS WILL
BE IN ACCORDING TO THE
PLANNING DRAWING. U VALUE
FOR THE WINDOW WILL BE
1.0
FIXED EXTERNAL LIGHT
CONTROL HAVE EFFECTIVE
CONTROL AND/OR USE OF
EFFICIENT LAMPS. LAMP
CAPACITY NOT EXCEED 40W
AND 40 LUMENS PER
CIRCUIT-WATT.

SAFETY GLAZING TO BS6206
ADJACENT TO PANELS ARE
WITHIN 500MM OF A DOOR
AND WITHIN 1500MM OF
FINISHED FLOOR LEVEL.
SMALL PANELS LESS THAN
250MM WIDE AND LESS THAN
0.30M2 SHOULD BE 6MM
ANNEALED GLASS.

THE HEATING VIA DOUBLE
CONVECTOR RADIATOR TO
PROPOSED SYSTEM (ROOM)1
BOILER 92% EFFICIENCY.
thermostatic valve to each
radiator for independent out
put to the boiler. The out
heat needed. The will be
atleast 300mm away from
the window to be discussed
on site with the building
inspector.



SOUND TEST RESULTS
WILL BE FORWARDED
TO BUILDING CONTROL
BEFORE COMPLETION

HOT WATER SUPPLY
LIMITED TO A
MAXIMUM OF 48
DEGREE

UPON COMPLETION, A SAP RATING WILL BE REQUIRED. IT WILL BE
SUBMITTED TO THE LOCAL AUTHORITY NOT MORE THAN 5 DAYS AFTER
BEFORE COMPLETION

upon completion, the pressure testing will be carried out in such
circumstances and in accordance with a procedure approved by the
Secretary of State and giving notice of the results of the testing to
the local authority

Upon completion the local authority requires a notice confirming that
the fixed building services have been commissioned in accordance of
the testing to the local authority.

UPON COMPLETION, SOUND TEST SHOULD BE PERFORMED FOR
SEPERATING WALLS AND FLOORS FOR ALL THE FLOORS.

THIRD FLOOR PLAN

ALL ENTRANCES DOORS WILL
HAVE SMOKE SEALS AND SELF-
CLOSURE AND WILL BE FIRE
RETARDANT OF ATLEAST 30
MINUTES

THE EXISTING CHIMNEY FLUES
ARE SEALED PROPERLY WITH
BRICKS TO ENSURE SOUND IS
NOT TRANSFERRED VIA FLUES

WINDOWLESS BATHROOM
SHOULD HAVE AN EXTRACTOR
WHICH HAS ATLEAST 15
MINUTES OVERRUN

BACKGROUND VENTILATION OF
ATLEAST 5000 MM2 IS
PROVIDED AT THE TOP OF THE
WINDOW AS TRICKLE VENT TO
NEW HABITABLE ROOMS.
TRICKLE VENTS SHOULD BE
LOCATED AT MINIMUM 1700MM
FROM THE FLOOR LEVEL.

BACKGROUND VENT OF ATLEAST
2500 MM2 SHOULD BE
PROVIDED TO BATHROOM,
UTILITY WHICH CONTAINS
WINDOW. VIA TRICKLE VENT

A MECHANICAL VENTILATION
COMMISSIONING CERTIFICATE
WILL BE SUBMITTED TO THE
COUNCIL NO LONCER THAN 5
DAYS AFTER COMPLETION

THE WATER EFFICIENCY
CALCULATOR WILL BE CARRIED
OUT AND SUBMITTED TO THE
COUNCIL NOT LATER THAN 5
DAYS AFTER THE COMPLETION

THE WHOLESOME WATER IS
COMING FROM THE EXISTING
WATER SUPPLY FROM THE
MANS.

PROVISION MUST BE MADE BY
THE INSTALLATION OF FITTINGS
AND FIXED APPLIANCES THAT
USE WATER EFFICIENTLY FOR
PREVENTION OF UNDE
CONSUMPTION OF WATER E.G
WASHER FITTED WITH CONTROL
USE OF WATER. THE WC FLUSH
SYSTEM SHOULD HAVE A DUAL
PUSH BUTTON: ONE FOR HALF
TANK FLUSH AND ONE FOR
FULL TANK FLUSH.

HOT WATER SUPPLY FROM THE
COMBI BOILER. ANY STORAGE
VESSEL WILL HAVE 2
INDEPENDENT SAFETY DEVICES
SUCH AS THOSE THAT RELEASE
PRESSURE AND SO PREVENT
THE TEMPERATURE OF THE
STORED WATER AT ANY TIME
EXCEEDING 100 DEGREES
CELCIUS IN ADDITION TO ANY
THERMOSTAT.

THE HOT WATER SYSTEM HAS
PIPEWORK THAT INCORPORATES
A PROVISION FOR THE
DISCHARGE OF HOT WATER
FROM SAFETY DEVICES TO BE
VISIBLE AT SOME POINT AND
SAFELY CONVEYS IT TO AN
APPROPRIATE PLACE OPEN TO
THE ATMOSPHERE WHERE IT
WILL CAUSE NO DANGER TO
PERSONS IN OR ABOUT THE
BUILDING, FITTED WITH SAFETY
DEVICES.

the hot water supply
temperature to a bath should
be limited to a maximum of
48 degrees celcius to use of
on in-line blending valve or
other appropriate temperature
control device, with a
maximum temperature stop
and a suitable arrangement of
pipework.

GENERAL NOTES

1. All dimensions in millimeters (mm).
2. Make opened service doors to all landings, to walls and ceiling work up.
3. Dimensions are to be obtained on site and not based on the plan supplied for contractor only.
4. Finished room dimensions may vary to those stated on the plan.
5. Work although specified may not be part of the original contract of work.
6. Any changes to the drawings must be authorised by the Architect or Building Control.
7. Party Wall Agreements are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such matters.
8. It is the responsibility of the client to seek for full planning permission and full building regulations to be granted before any work starts.
9. All structural members are indicated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.



LONDON
CONSULTANTS LTD

PROPOSAL:
CONVERSION OF THE EXISTING
OFFICE AT THIRD FLOOR LEVEL TO
STAFF ACCOMODATION

SITE ADDRESS:
21-23 DORSET SQUARE

DATE: 10.01.2019

SCALE: 1:75

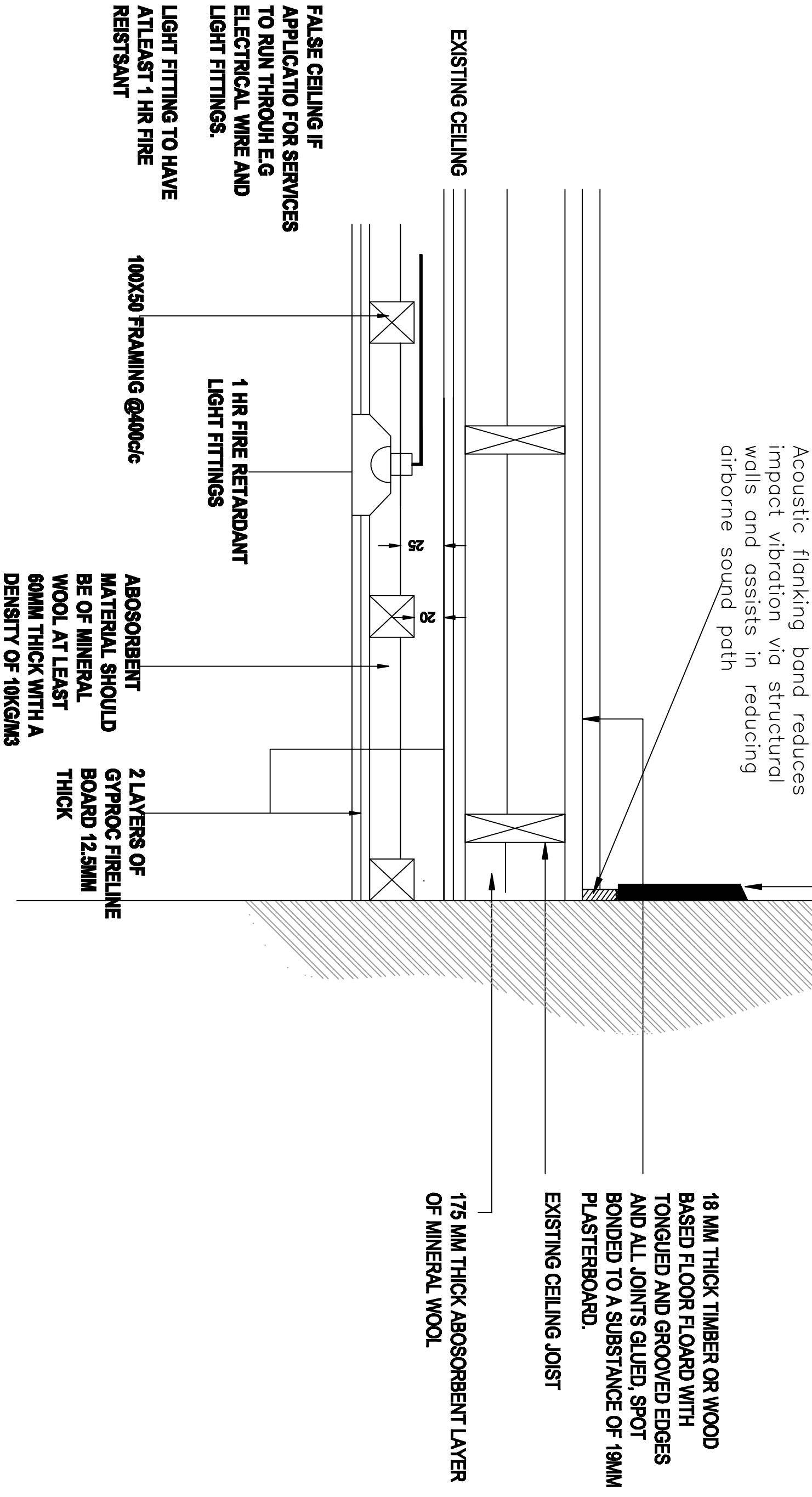
DRAWING NUMBER: GLA-081.

DRAWN: J.V

REV:

CHECK: R.K

FLOOR AND CEILING UPGRADE



GENERAL NOTES

1. All dimensions in millimetres (mm).

2. Makeup dimensions shall be to all lengths, widths and heights.

3. Dimensions are to be obtained on site and not based on the plan.

4. Material from dimensions may vary to those stated on the plan.

5. Work shall be done in accordance with the relevant standards of workmanship.

6. Any changes to the drawing must be authorised by the Architect or Building Control.

7. Any Work shall be done in accordance with the relevant standards of workmanship.

8. It is the responsibility of the client to ensure that the relevant building regulations to be followed are followed.

9. All structural members are to be reinforced with the length of the beam. It is the responsibility of the contractor to ensure the required length of any structural member on site.



PROPOSAL:
CONVERSION OF THE EXISTING
OFFICE AT THIRD FLOOR LEVEL TO
STAFF ACCOMODATION

SITE ADDRESS:
21-23 DORSET SQUARE

DATE: 10.01.2019

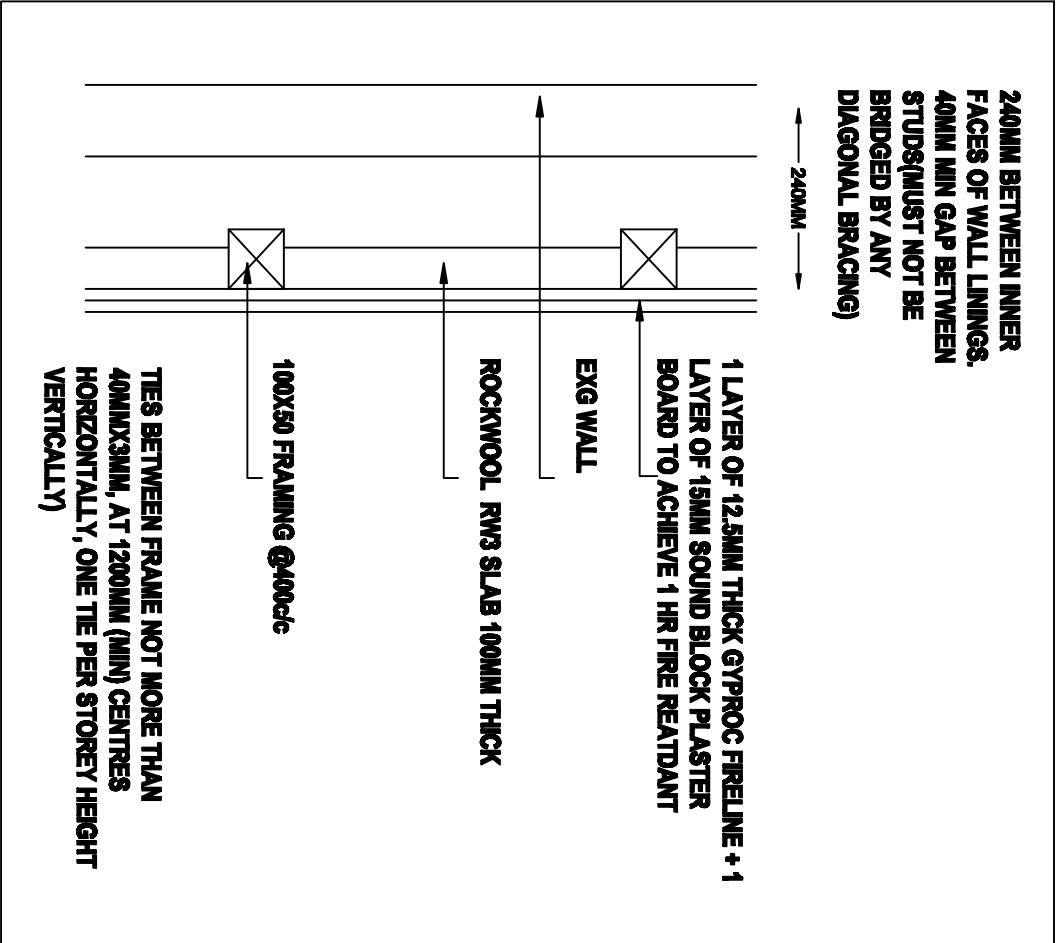
SCALE:

DRAWING NUMBER: GLA-091

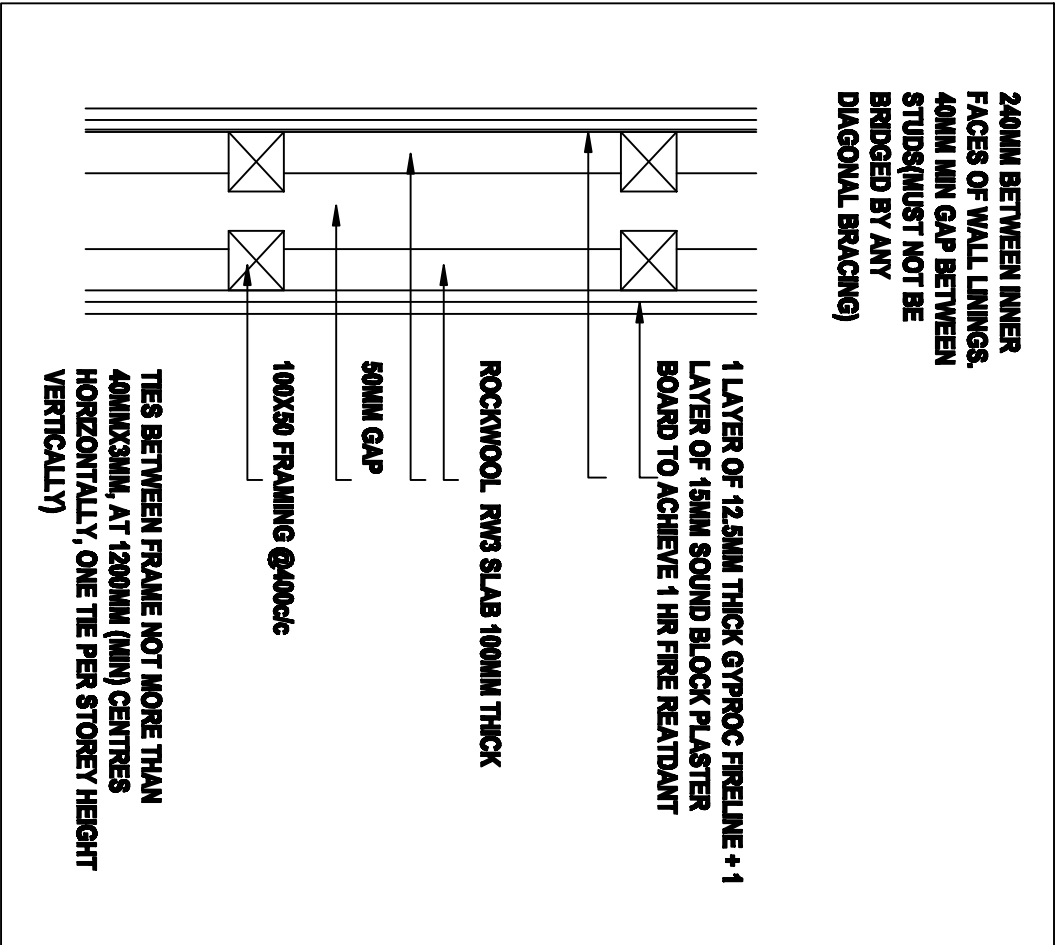
DRAWN: J.V

CHECK: R.K

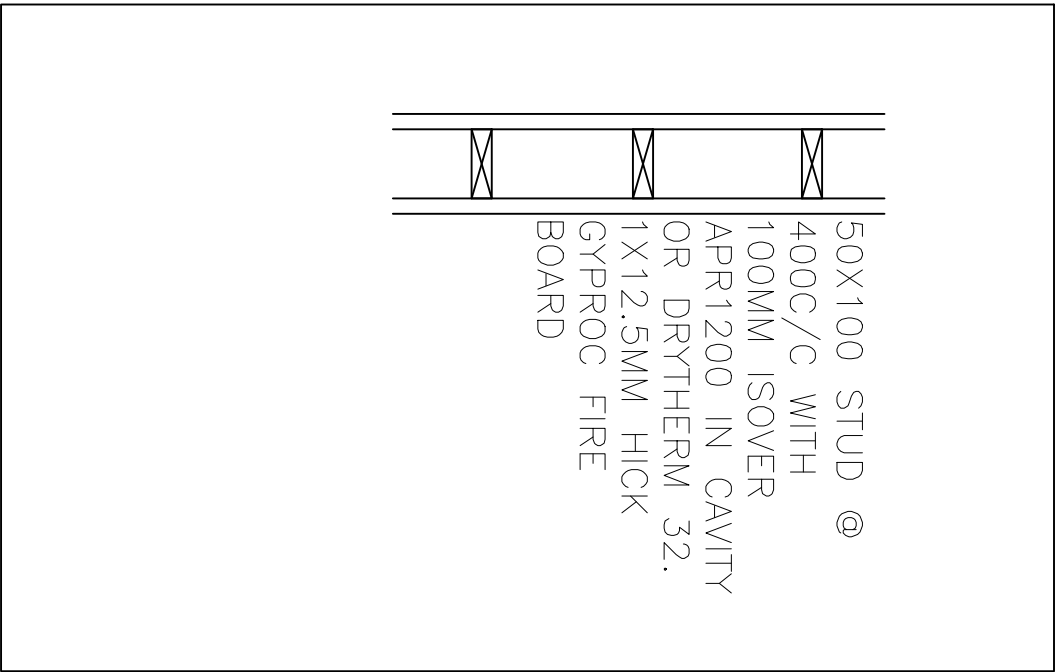
REV:



WALL TREATMENT DETAIL A



WALL TREATMENT DETAIL B



WALL TREATMENT DETAIL C

GENERAL NOTES

1. All dimensions in millimetres (mm).

2. Members operated under stress to all lengths, to walls and ceiling work up.

3. Dimensions are to be obtained on site and not based on the plan, or section.

4. Finished room dimensions may vary to those stated on the plan.

5. Work although specified may not be part of the agreed scope of work.

6. Any changes to the design must be authorised by the Architect or Building Control.

7. Party Wall Agreements are deemed to be the responsibility of the client unless the Architect is specifically requested under a separate agreement to undertake such matters.

8. It is the responsibility of the client to seek full planning permission and full building regulations to be granted before any work starts.

9. All structural members are calculated without the length of the bearing. It is the responsibility of the contractor to measure the required length of any structural member on site.



LONDON
CONSULTANTS LTD

PROPOSAL: CONVERSION OF THE EXISTING OFFICE AT THIRD FLOOR LEVEL TO STAFF ACCOMODATION	DATE: 10.01.2019	
	SCALE:	
	DRAWING NUMBER: GLA-101.	
	DRAWN: J.V	CHECK: R.K
SITE ADDRESS: 21-23 DORSET SQUARE	REV:	